

GENERAL NOTES:

1. NOTES AND DETAILS ON THE STRUCTURAL DRAWINGS TAKE PRECEDENCE OVER THESE GENERAL NOTES. DETAILS NOTED AS "TYPICAL" SHALL BE USED WHENEVER APPLICABLE. REFER TO SPECIFICATIONS FOR INFORMATION NOT COVERED BY THESE NOTES OR DRAWINGS.
2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, AND SITE CONDITIONS BEFORE STARTING WORK, AND THE DESIGN PROFESSIONAL (ENGINEER AND/OR ARCHITECT) SHALL BE IMMEDIATELY NOTIFIED, IN WRITING OF ANY DISCREPANCIES. IN NO CASE SHALL DIMENSIONS BE SCALED FROM PLANS, SECTIONS, OR DETAILS ON THE STRUCTURAL DRAWINGS.
3. ALL OMISSIONS AND CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE STRUCTURAL DRAWINGS AND/OR SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF, AND RESOLVED WITH, THE DESIGN PROFESSIONL BEFORE PROCEEDING WITH ANY WORK SO INVOLVED.
4. WHERE A CONSTRUCTION DETAIL IS NOT SPECIFICALLY SHOWN OR NOTED, THE DETAIL SHALL BE THE SAME AS FOR OTHER SIMILAR WORK.
5. THE CONTRACTOR SHALL DETERMINE THE LOCATION OF UTILITY SERVICES IN THE AREA TO BE EXCAVATED, BEFORE BEGINNING EXCAVATION.
6. NO PIPES, DUCTS, SLEEVES, CHASES, ETC. SHALL BE PLACED IN OR THRU SLABS, BEAMS, OR WALLS, NOR SHALL ANY STRUCTURAL MEMBER BE CUT FOR PIPES, DUCTS, ETC. EXCEPT AS INDICATED ON THE STRUCTURAL DRAWINGS. THE CONTRACTOR SHALL OBTAIN PRIOR APPROVAL FOR INSTALLATION OF ANY ADDITIONAL PIPES, DUCTS, ETC.
7. ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE REQUIREMENTS OF THE 2013 CALIFORNIA BUILDING CODE AND ADDITIONAL REQUIREMENTS SET FORTH BY ANY AND ALL LOCAL BUILDING CODES.
8. THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
9. RETAIN A CALIFORNIA REGISTERED CIVIL ENGINEER TO DESIGN ALL TEMPORARY BRACING, SHORING, AND SUPPORT REQUIRED DURING CONSTRUCTION.
10. SPECIAL DEPUTY INSPECTION SHALL BE PROVIDED BY THE OWNER OF THE PORJECT FOR THE INSTALLATION OF ANCHOR BOLTS, FOUNDATION REBAR, AND STRUCTURAL CONCRETE STRENGTH TESTING.
11. WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS ON ALL DRAWINGS.
12. SEPARATE PERMIT IS REQUIRED FOR EACH BUILDING OR STRUCTURE, I.E. FENCE WALLS, PLANTERS.
13. ALL DRAWINGS ARE THE PROPERTY OF THE DESIGN PROFESSIONAL DRAWINGS MAY NOT BE RE-USED IN PART OR IN WHOLE WITHOUT WRITTEN PERMISSION.
14. WORKER'S COMPENSATION INSURANCE:  
CONTRACTOR AND SUB-CONTRACTORS SHALL PURCHASE AND MAINTAIN COMPLETE COVERAGE TO PROTECT THE CLAIMS UNDER WORKERS COMPENSATION ACTS, AND SHOW PROOF THEREOF.
15. UTILITY SERVICES:  
CONTRACTOR AND SUB-CONTRACTORS SHALL CONFIRM LOCATIONS OF UTILITIES AND NOTIFY ALL PERSONS WORKING ON SITE OF EXISTING UTILITIES. CONTRACTOR SHALL LOCATE AND IDENTIFY ACTIVE UTILITY SERVICES AND TEMPORARILY DEACTIVATE THEM WHEN THEY CONSTITUTE A HAZARD. LOCATION OF, ELECTRIC AND WATER METERS TO CONFORM WITH UTILITY COMPANY REQUIREMENTS.
16. CONTRACTOR SHALL CALL "DIG-A-LERT" PRIOR TO ANY WORK ON SITE TO VERIFY LOCATION OF UTILITIES ON SITE.
17. CONTINUOUS SPECIAL DEPUTY INSPECTION IS REQUIRED FOR ALL FIELD WELDING WHEN APPLICABLE.
18. PROTECT EXISTING CONSTRUCTION FINISHES, ADJACENT TO PROPERTY, PLANTING AND TREES, PROTECT THE WORK FROM RAIN AND OTHER NATURAL ELEMENTS. REPAIR, REFINISH OR REPLACE ANY ITEMS DAMAGED DURING CONSTRUCTION.
19. TEMPORARY ELECTRIC AND WATER SERVICES FURNISHED AND PAID FOR BY THE CONTRACTOR OR SUB-CONTRACTOR.
20. CONTRACTOR SHALL PROVIDE TEMPORARY TOILET IN ACCORDANCE WITH LOCAL ORDINANCES IF NO TOILET IS AVAILABLE ON SITE.

SECURITY NOTES:

1. SLIDING GLASS DOORS AND WINDOWS LOCATED LESS THAN 16 FEET ABOVE ANY SURFACE AVAILABLE FOR USE BY PUBLIC SHALL BE CAPABLE OF BEING LOCKED SECURELY. MOVEABLE PANELS SHALL NOT BE EASILY REMOVED FROM THE FRAME.
2. ALL MAIN OR FRONT ENTRY INTO DWELLINGS SHALL BE ARRANGED SO THAT THE OCCUPANT HAS A VIEW OF THE AREA IMMEDIATELY OUTSIDE WITHOUT OPENING DOOR. SUCH VIEW MAY BE PROVIDED BY A DOOR VIEW, A VIEW PORT, WINDOW, OR OTHER OPENING.
3. EXTERIOR WOODEN DOORS SHALL BE OF SOLID CORE CONSTRUCTION OR SHALL BE COVERED ON THE INSIDE FACE WITH 16 GAUGE SHEET METAL ATTACHED WITH SCREWS AT 16 INCHES ON CENTERS AROUND THE PERIMETER.
4. ALL SWINGING DOORS SHALL BE EQUIPPED WITH A DEAD BOLT WITH A MINIMUM THROW OF 1 INCH AND AN EMBEDMENT OF NOT LESS THAN 5/8"
5. THE INACTIVE LEAD OF A PAIR OF DOORS AND THE UPPER LEAD OF DUTCH DOORS SHALL BE EQUIPPED WITH A DEAD BOLT.
6. NON-REMOVABLE PINS SHALL BE USED IN PIN TYPE HINGES WHICH ARE ACCESSIBLE FROM THE OUTSIDE WHEN THE DOOR IS CLOSED.
7. UNFRAMED GLASS DOORS SHALL BE FULLY TEMPERED GLASS NOT LESS THAN ½" THICK.
8. NARROW-FRAMED GLASS DOORS SHALL BE FULLY TEMPERED GLASS NOT LESS THAN ¼ INCH THICK.
9. ANY GLASS WHICH IS LOCATED WITHIN 40" OF THE LOCKING DEVICE ON A DOOR SHALL BE FULLY TEMPERED, OR HAVE APPROVED METAL BARS, SCREENS OR GRILLS.
10. SOLID WOODEN HATCHWAYS LESS THAN 1-3/4" THICK SHALL BE COVERED ON THE INSIDE WITH 16 GAUGE SHEET METAL ATTACHED WITH SCREWS AT 6 INCHES ON CENTER AROUND THE PERIMETER AND SHALL BE SECURED FROM THE INSIDE WITH A SLIDE BAR, SLIDE BOLTS, AND/OR PADLOCK WITH HARDENED STEEL SHACKLE. ALL OTHER OPENINGS LARGER THAN 96 SQUARE INCHES WITH A DIMENSION IN EXCESS OF 8 INCHES SHALL BE SECURED BY METAL BARS, SCREENS, OR GRILLS. (EXCEPTION: NON-OPENING SKYLIGHTS).

ABBREVIATIONS

&	ANGLE	CBC	CALIFORNIA BUILDING CODE	EXIST.	EXISTING EXTERIOR	H.W.	HATCHWAY
@	AT	CJ	CEILING JOIST	EXT.	EXT. EXTERIOR	I.D.	INSIDE DIAMETER
°	DEGREE	CL.	CENTERLINE	F.F.	FINISHED FLOOR	I.E.	INCH OR INCHES
Ø	DIAMETER	CLG.	CEILING	FDN.	FOUNDATION	IN.	INCH
"	INCHES	CLR.	CLEAR	FIN.	FLOOR FINISH OR FINISHED	INSUL.	INSULATION
'	FEET	COL.	COLUMN	FJ.	FLOOR JOIST	INT.	INTERIOR
#	POUND	CONC.	CONCRETE	FLR.	FLOOR	P.L.	PROPERTY LINE
±	PLUS OR MINUS	CONT.	CONTINUOUS	FN.	FIELD NAILING	PL.	PLATE
ABV.	ABOVE	C.W.	COLD WATER	F.O.	FACE OF	P.LYWD.	PLYWOOD
AB.	ANCHOR BOLT			F.O.F.	FACE OF FINISH	PNL.	PANEL
ADD.	ADDITIONAL	D	DEPTH	F.O.S.	FACE OF STUDS	PSL	PARALLEL STRAND LUMBER
A.F.F.	ABOVE FINISHED FLOOR	DBL	DOUBLE	F.O.W.	FACE OF WALL	R	RADIUS
AISC	AMERICAN INSTITUTE OF STEEL CONSTRUCTION	DEPT.	DEPARTMENT	F.R.	FIRE RATED	REINF.	REINFORCEMENT
A.K.A.	ALSO KNOWN AS	DET.	DETAIL	F.S.	FINISHED SURFACE	REQ'D	REQUIRED
ALUM.	ALUMINUM	DF.	DOUGLAS FIR	FT.	FOOT OR FEET	REF.	REFRIGERATOR
ALT.	ALTERNATE	DIA.	DIAMETER	FTG.	FOOTING	REV.	REVISION
APA	AMERICAN PLYWOOD ASSOCIATION A.K.A APA – The Engineered Wood Association.	DIAG.	DIAGONAL			R.O.	ROUGH OPENING
		DIAPH.	DIAPHRAGM	GA	GAUGE	RR	RAFTER
		DIM.	DIMENSION	GALV.	GALVANIZED	S	SOUTH
		DN.	DOWN	G.C.	GENERAL CONTRACTOR	S.C.	SOLID CORE
		DR.	DOOR	GIR.	GIRDER	SCHED.	SCHEDULE OR SCHEDULED
		DWG.	DRAWING	GL.	GLASS	SECT.	SECTION
APPROX.	APPROXIMATELY			GWB.	GYPSPUM WALLBOARD	SHT.	SHEET
ASTM	AMERICAN SOCIETY OF TESTING MATERIALS			GYP. BD.	GYPSPUM BOARD	S&P	SHELF & POLE CLOST
		E	EAST			SIM.	SIMILAR
B OR b	WIDTH	(E)	EXISTING	H.C.	HOLLOW CORE	SIMP-ST	SIMPSON STRONG-TIE
BITUM.	BITUMINOUS	EA.	EACH	HDWD.	HARDWOOD	S.O.G.	SILL PLAN NAILING
BLDG.	BUILDING	E.J.	EXPANSION JOINT	HDR.	HEADER	SPN.	SPECIFICATIONS
BLKG.	BLOCKING	EL.	ELEVATION	HD.	HOLDDOWN	SO.	SQUARE
BM.	BEAM	ELEC.	ELECTRICAL	HGR.	HANGER	STD.	STANDARD
BN.	BOUNDARY NAILING	ELEV.	ELEVATION	HNDRL	HANDRAIL	STL.	STEEL
B.O.	BOTTOM OF	EMBED.	EMBEDMENT	HOR.	HORIZONTAL		
B.O.F.	BOTTOM OF FOOTING	EN.	EDGE NAILING	HR.	HOUR		
BOT.	BOTTOM	E.O.S.	EDGE OF SLAB	HT.	HEIGHT		
BRG.	BEARING	EQ.	EQUAL	HVAC.	HEATING VENTILATION AND AIR CONDITIONING		
BTM.	BOTTOM	EQUIP.	EQUIPMENT				

NEW FRONT PORCH  
(A = 126 SF)

NEW FRONT ADDITION  
(A = 16 SF)

NEW REAR ADDITION  
(A = 151 SF)



SHEET INDEX

SHEET #	SHEET NAME
H2	Unnamed
A1.0	TITLE SHEET
A1.1	CITY OF LONG BEACH FORMS
A2.0	SITE PLAN
A3.0	DEMOLITION PLAN
A3.1	DEMOLITION ELEVATIONS
A4.0	FLOOR PLAN
A4.1	FLOOR PLAN DETAILS
A4.2	DOOR/WINDOW SCHEDULES & DETAILS
A4.3	EXTERIOR SIDING DETAILS
A5.0	ROOF PLAN
A6.0	ELEVATIONS ( EAST & WEST )
A6.1	ELEVATIONS ( NORTH & SOUTH )
A7.0	CROSS SECTIONS
A7.1	CROSS SECTIONS
A8.0	UTILITY PLAN
T24-1	ENERGY CALCULATIONS
T24-2	RESIDENTIAL MANDATORY MEASURES
S1.0	DESIGN NOTES & SPECIAL INSPECTIONS
S2.0	STANDARD STRUCTURAL NOTES
S2.1	STANDARD STRUCTURAL DETAILS No. 1
S2.2	STANDARD STRUCTURAL DETAILS No. 2
S2.3	STANDARD STRUCTURAL DETAILS No. 3
S2.4	STANDARD STRUCTURAL DETAILS No. 4
S2.5	STANDARD STRUCTURAL DETAILS No.5
S3.0	FOUNDATION PLAN
S3.1	FOUNDATION DETAILS #1
S3.2	FOUNDATION DETAILS #2
S4.0	STRUCTURAL FRAMING ELEVATION No.1
S4.1	STRUCTURAL FRAMING ELEVATION No.2
S5.0	FRAMING PLAN ( WALLS & CEILING )
S5.1	FRAMING DETAILS
S5.2	FRAMING DETAILS

SCOPE OF WORK

A NEW 167 SF FRONT AND REAR ADDITION WILL BE BUILT. THE FOLLOWING WORK SHALL BE DONE:

1. THE EXISTING FRONT PORCH WILL BE CONVERTED INTO **NEW** 16 SF ADDITION AT THE FRONT LIVING ROOM.
2. A **NEW** 151 SF REAR BEDROOM ADDITION AT THE REAR WILL BE BUILT.
3. A **NEW** 126 SF PORCH WILL BE BUILT AT THE FRONT YARD.
4. A TOTAL OF 33 **NEW** WINDOWS WILL BE INSTALLED. THE EXISTING HOME WILL BE STRUCTURALLY RETROFITTED WITH **NEW** WOOD SHEAR WALLS FOR THE NEW OPENINGS IN THE EXISTING EXTERIOR WALLS.
5. A **NEW** FRONT DOOR WITH SIDELITES WILL BE INSTALLED.
6. THE EXISTING FRENCH DOORS AT THE REAR OF THE HOME AT THE SITTING AREA AND BEDROOM WILL BE MOVED AND REINSTALLED.
7. NO CHANGES TO EXISTING HOME INTERIOR. AT EXISTING EXTERIOR WALLS, THE EXISTING STUCCO WILL BE REMOVED AND **NEW** BATTEN BOARD SIDING WILL BE INSTALLED AT THE EXTERIOR OF THE HOME. ON THE INTERIOR SIDE, THE EXISTING ELECTRICAL OUTLETS WILL BE MODIFIED AND THE DRYWALL WILL BE PATCHED UP AS REQUIRED FOR NEW WINDOW INSTALLATION.
8. NO CHANGES TO EXISTING ELECTRIAL METER. NO CHANGES TO EXISTING WATER HEATER. NO CHANGES TO EXISTING H.V.A.C. SYSTEM.

PROJECT INFORMATION

CLIENT NAME:	6514 E. BRITTAIN ST LONG BEACH, CA 90808
ASSESSOR PARCEL NUMBER (APN):	7071-013-002
TRACT #:	17893
LOT #:	353
PARCEL SIZE:	5,000 SF
ZONING:	R-1-N
OCCUPANCY GROUP:	R-3/U
CONSTRUCTION TYPE:	V-B
FIRE SPRINKLERS:	NONE AT EXISTING HOME. NONE AT NEW ADDITION.
NUMBER OF STORIES:	1
BUILDING SETBACKS	Front: 20 FT Side: 4 FT FOR 1 STORY Rear: 10 FT @ 1st STORY
HEIGHT LIMIT:	25 FT
APPLICABLE CODES:	- CITY OF LONG BEACH MUNICIPAL CODE - CITY OF LONG BEACH BUILDING CODE ( CBC ) - 2019 CALIFORNIA RESIDENTIAL CODE ( CRC ) - 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE ( CAL-GREEN ) - 2019 CALIFORNIA ENERGY CODE ( CEC ) - 2019 CALIFORNIA PLUMBING CODE ( CPC ) - 2019 CALIFORNIA MECHANICAL CODE ( CMC ) - 2019 CALIFORNIA ELECTRICAL CODE ( CEC )

PRE-CONSTRUCTION MEETING TO BE SCHEDULED WITH INSPECTION PRIOR TO ANY WORK DONE.

LOT COVERAGE CALCULATION

PROPERTY LOT

AREA OF PROPERTY LOT: 5,000 SF

COVERAGE

(A) EXISTING RESIDENCE AREA: 1,434 SF

(B) EXISTING GARAGE AREA: 369 SF

(C) **NEW** REAR ADDITION AREA: 151 SF

(D) **NEW** FRONT ADDITION AREA: 16 SF

TOTAL NEW FOOTPRINT AREA OF RESIDENCE (A+B+C+D): **1,970 SF**

LOT COVERAGE = 39.4% ≤ 45% MAX ... OK!



OroHaus DESIGN  
PLANNING • DESIGN • ENGINEERING  
4182 VIKING WAY SUITE 215  
LONG BEACH, CA 90808  
TEL: 310.741.2699  
martin@orohaus.com

MARTIN E. RUVALCABA, P.E.

DATE  
THE CONTRACTOR SHALL VERIFY ALL CONTROLLING FIELD DIMENSIONS, EMBEDMENTS, OPENINGS, AND LOCATIONS OF ALL UTILITIES BEFORE PROCEEDING WITH ANY CONSTRUCTION WORK, OR ORDERING AND/OR FABRICATING ANY MATERIAL.

IN CASE OF CONFLICT OR DISCREPANCIES, THE CONTRACTOR SHALL IMMEDIATELY INFORM THE DESIGN PROFESSIONAL.

ALL CONSTRUCTION SHALL CONFORM TO THE CALIFORNIA BUILDING CODE & LOCAL CITY/COUNTY CODES.

CLIENT

6514 E. BRITTAIN ST  
LONG BEACH, CA 90808

REVISIONS

No.	DATE	DESCRIPTION

TITLE SHEET

BRITTAIN ROOM & PORCH  
ADDITION  
6514 E. BRITTAIN ST  
LONG BEACH, CA 90808

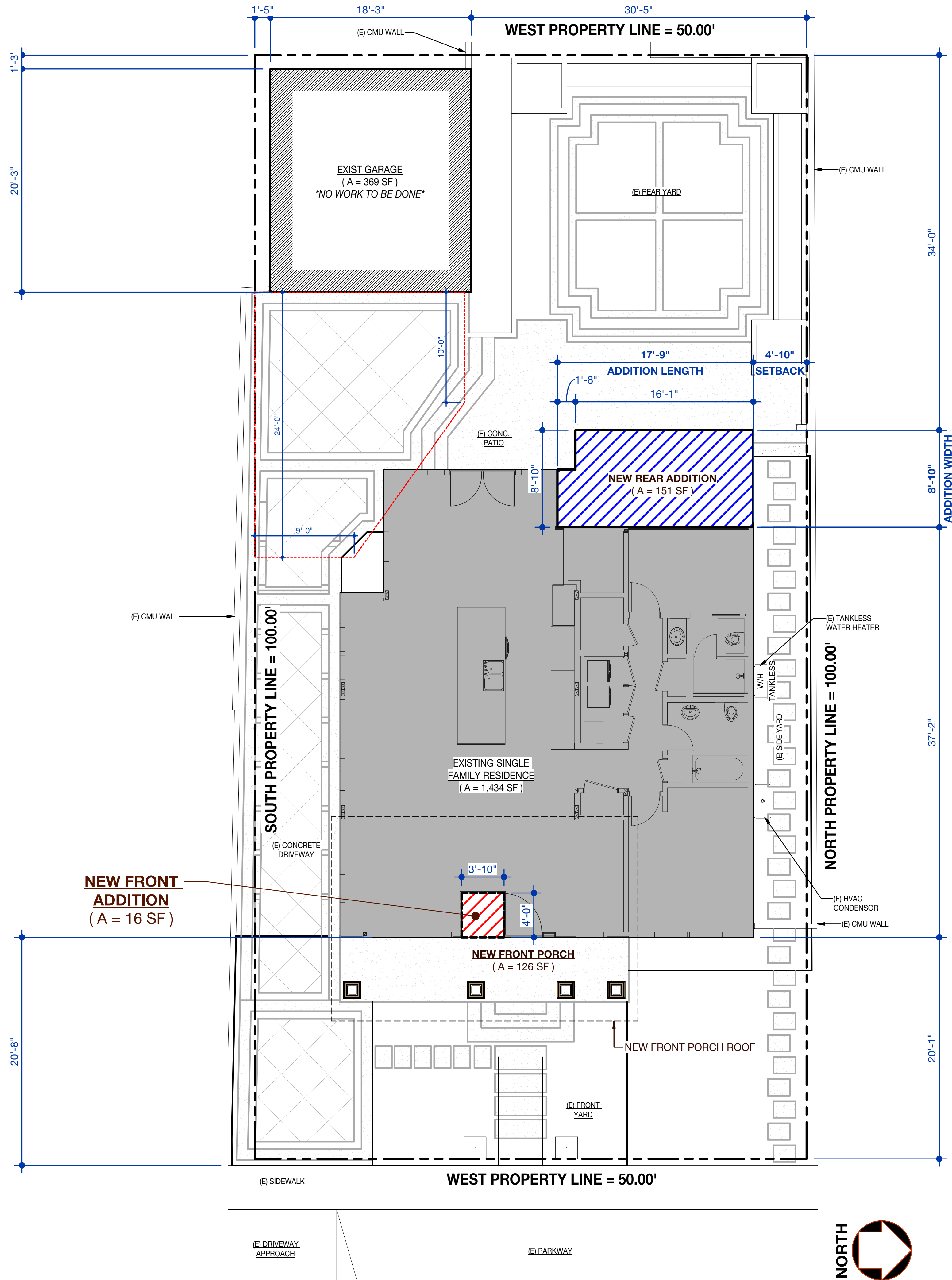
PROJECT NO. DATE

201101 4/11/2022

SHEET

A1.0





**SITE PLAN**  
SCALE: 3/16" = 1'-0"

**SITE PLAN LEGEND:**

- (E) EXISTING  
(N) NEW
- (N) REAR 1st FLOOR ADDITION AREA  
(N) FRONT 1st FLOOR ADDITION AREA
- (E) GARAGE AREA  
(E) HOME AREA



**SITE PLAN NOTES:**

- ALL DIMENSIONS TO NEW ADDITION OR EXISTING CONSTRUCTION ARE TO THE FINISH FACE OF BUILDING.
- DIMENSIONS TO EXISTING CONSTRUCTION OR EXIST PROPERTY LINES WITH " ± " SHALL INDICATE PLUS OR MINUS 3 INCHES DUE TO THE NATURE OF EXISTING CONSTRUCTION.  
THE EXISTING BUILDING MAY, OR MAY NOT, HAVE BEEN CONSTRUCTED VERTICALLY STRAIGHT, HORIZONATALLY STRAIGHT, LEVEL, AND/OR CONSTRUCTED WITH 90° ANGLES AT CORNERS. THE EXISTING STRUCTURES MAY HAVE EXPERIENCED SETTLEMENT OR MOVEMENT OVER THE YEARS IN SERVICE WHICH MAY CREATE DISCREPANCIES IN FIELD MEASUREMENTS SHOWN ON SITE PLAN.
- NO MAJOR ALTERATIONS SHALL BE MADE TO THE EXISTING GRADING. ALL GRADING SHALL SLOPE A MINIMUM 2% FROM THE NEW ADDITION.
- PEDESTRIANS SHALL BE PROTECTED DURING CONSTRUCTION, REMODELING AND DEMOLITION ACTIVITIES AS REQUIRED BY LATEST EDITION OF CBC.
- CONTRACTOR SHALL CALL "DIGALERT" PRIOR TO ANY WORK ON SITE TO VERIFY THE LOCATION OF EXISTING UTILITIES ON SITE.
- IT SHALL BE THE GENERAL CONTRACTORS RESPONSIBILITY TO HAVE GRADING, COMPACTION, BACK FILLING, FOOTING AND UTILITY INSPECTIONS COMPLETED PRIOR TO BEGINNING THE NEXT PHASE OF CONSTRUCTION.
- SEPARATE PERMIT IS REQUIRED FOR EACH BUILDING OR STRUCTURE I.E. FENCE WALLS, RETAINING WALLS, TRASH ENCLOSURES, PLANTERS, SWIMMING POOLS/SPAS.
- UPGRADE GAS SUPPLY & METER AS REQUIRED FOR NEW WATER HEATER SYSTEM.
- ALL EXPOSED CONCRETE SHALL MATCH EXISTING U.O.N.
- DO NOT SCALE DRAWINGS.

**SETBACK, PROPERTY LINES, & CONSTRUCTION LAYOUT**

IT IS THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO DETERMINE THE EXACT LOCATION OF THE PROPERTY LINE'S. CONSTRUCTION STAKING OF THE PROPERTY LINE'S BY A LICENSED SURVEYOR MAYBE REQUIRED.

CONTRACTOR SHALL VERIFY AND ENSURE THAT THE NEW CONSTRUCTION MEETS THE CITY'S SETBACK REQUIREMENTS AS SHOWN ON THESE CONSTRUCTION PLANS BEFORE ANY CONSTRUCTION BEGINS.

IN EVENT OF DISCREPANCY, CONTRACTOR SHALL NOTIFY DESIGN PROFESSIONAL IMMEDIATELY.

MARTIN E. RUVALCABA, P.E.

DATE  
THE CONTRACTOR SHALL VERIFY ALL CONTROLLING FIELD DIMENSIONS, EMBEDMENTS, OPENINGS, AND LOCATIONS OF ALL UTILITIES BEFORE PROCEEDING WITH ANY CONSTRUCTION WORK, OR ORDERING AND/OR FABRICATING ANY MATERIAL.

IN CASE OF CONFLICT OR DISCREPANCIES, THE CONTRACTOR SHALL IMMEDIATELY INFORM THE DESIGN PROFESSIONAL.

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**CLIENT**

6514 E. BRITTAIN ST  
LONG BEACH, CA 90808

**REVISIONS**

No.	DATE	DESCRIPTION

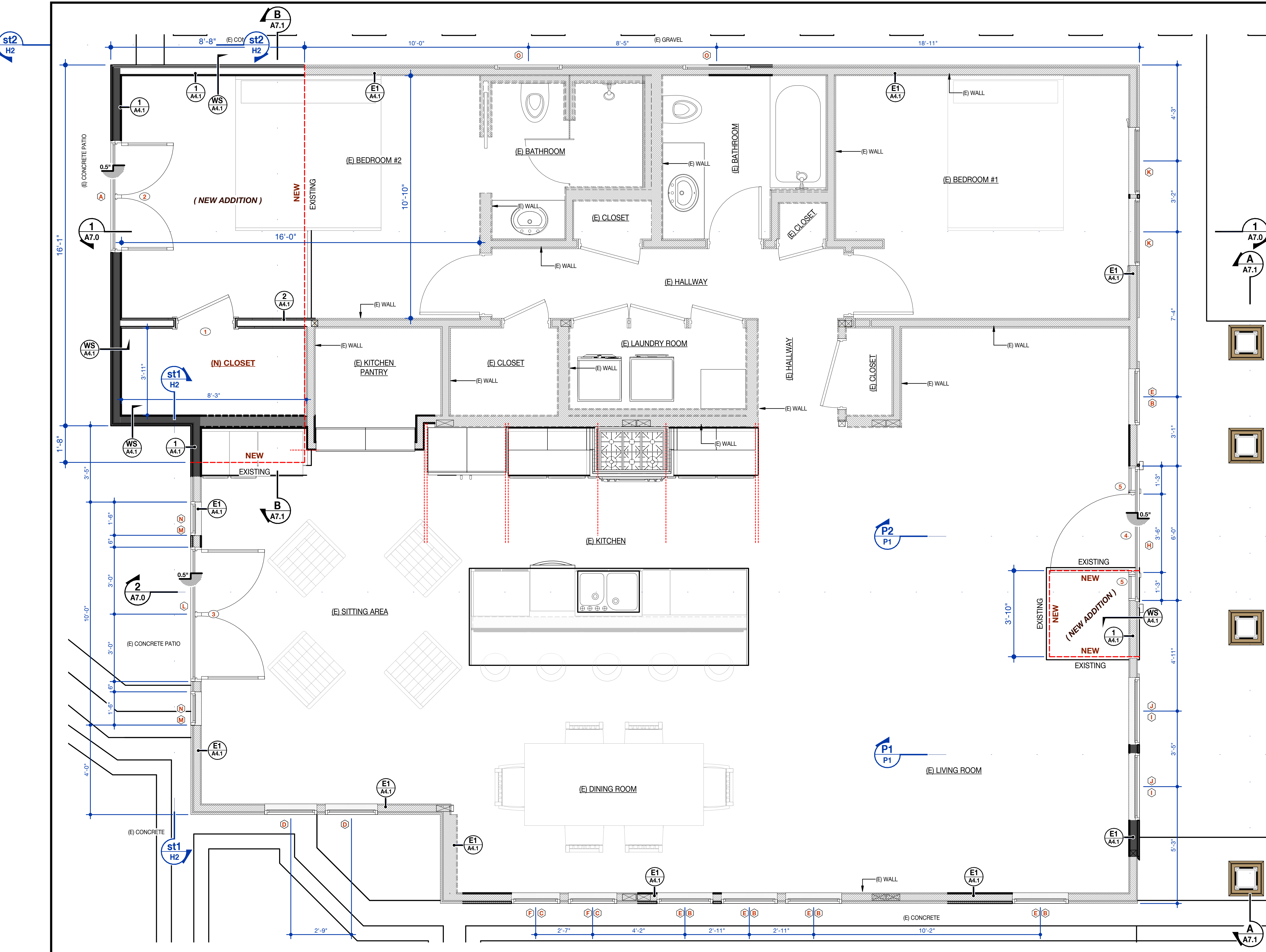
**BRITTAIN ROOM & PORCH  
ADDITION**  
**SITE PLAN**

PROJECT NO.	DATE
201101	4/11/2022

SHEET

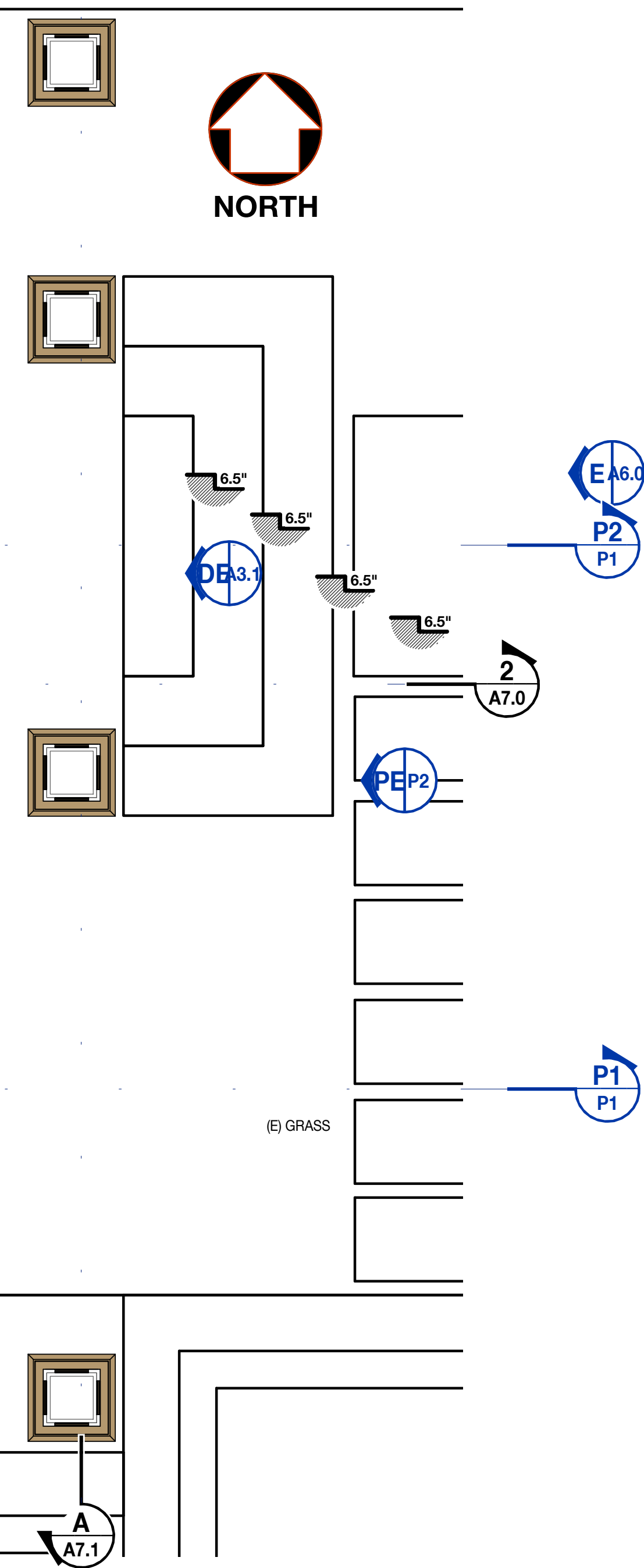
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**FLOOR PLAN LEGEND:**

- EXISTING WALL TO REMAIN
- NEW WALL
- (E) EXISTING
- (N) NEW
- WINDOW TAG SYMBOL, SEE "WINDOW SHEDULE" ON SHEET A4.2
- DOOR TAG SYMBOL, SEE "DOOR SHEDULE" ON SHEET A4.2
- (E) GRASS — VIEW DIRECTION
- A5.0 — ELEVATION No. — SHEET No. EXTERIOR ELEVATION
- 1 A4.2 — ELEVATION No. — SHEET No. CALLOUT DETAIL
- 1 A4.2 — SECTION LOCATION — SHEET No. WALL SECTION DETAIL
- 1 A4.2 — ELEVATION No. — SECTION CUT LOCATION SECTION DETAIL



**FLOOR PLAN**  
SCALE: 1/2" = 1'-0"

**OroHAUS DESIGN**  
PLANNING • DESIGN • ENGINEERING  
4182 VIKING WAY SUITE 215  
LONG BEACH, CA 90808  
TEL: 310.741.2699  
martin@orohaus.com

MARTIN E. RUVALCABA, P.E.

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6514 E. BRITAIN ST  
LONG BEACH, CA 90808

**REVISIONS**

No.	DATE	DESCRIPTION

**BRITAIN ROOM & PORCH  
ADDITION  
FLOOR PLAN**

PROJECT NO. <b>201101</b>	DATE <b>4/11/2022</b>
SHEET <b>A4.0</b>	





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6514 E. BRITTAIN ST  
LONG BEACH, CA 90808

REVISIONS

No.	DATE	DESCRIPTION

BRITTAIN ROOM & PORCH  
ADDITION

PORCH 3D

PROJECT NO. 201101  
DATE 4/11/2022

SHEET  
P0



MARTIN E. RUVALCABA, P.E.

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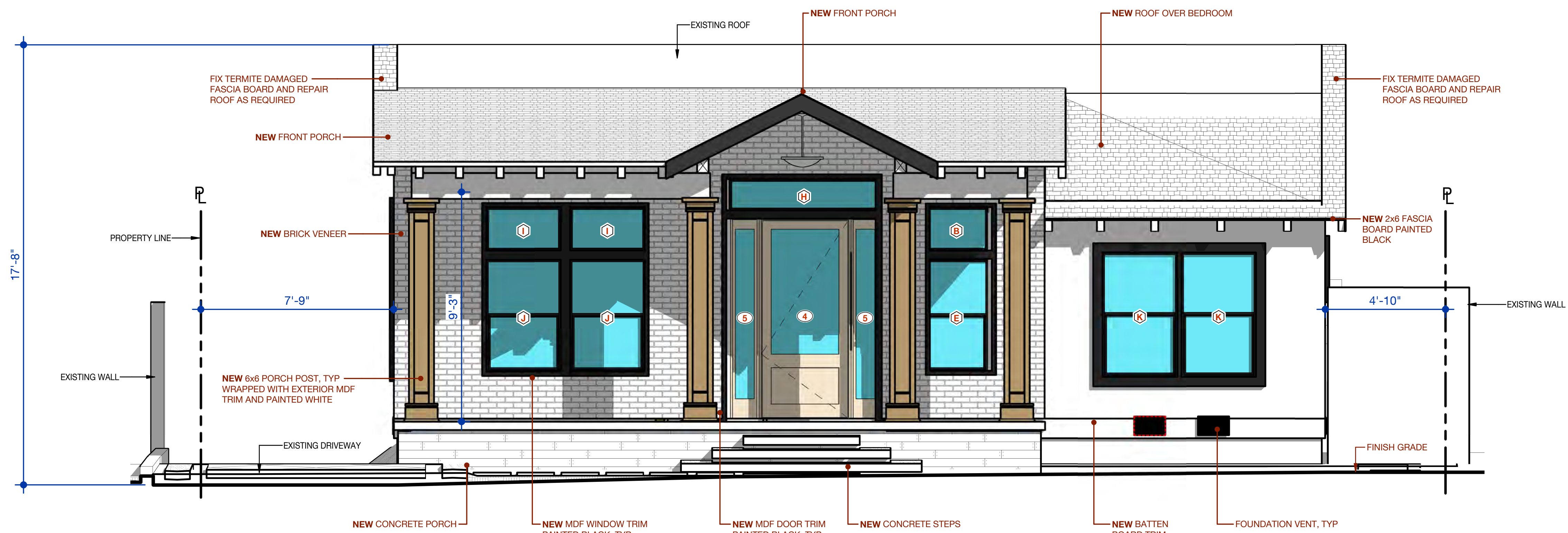
No.	DATE	DESCRIPTION

BRITTAIN ROOM & PORCH  
ADDITION  
ELEVATIONS ( EAST & WEST )

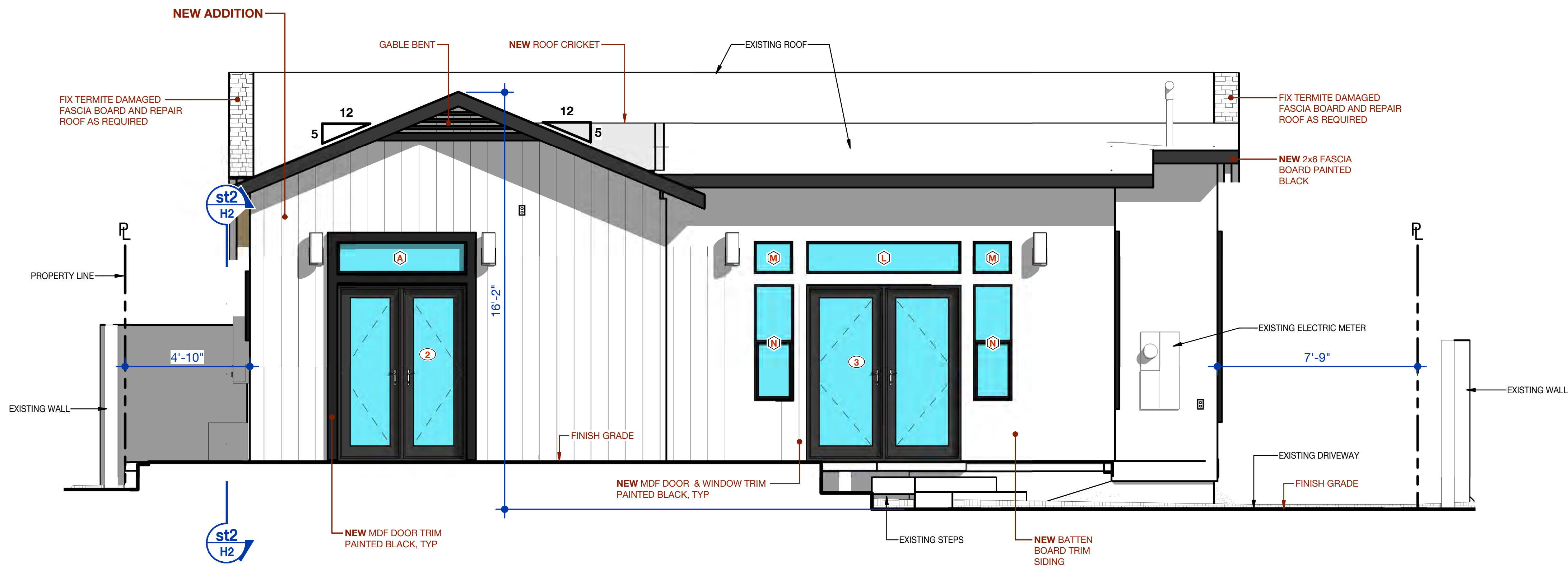
PROJECT NO. 201101  
DATE 4/11/2022

SHEET

A6.0



**E EAST ELEVATION**  
SCALE: 3/8" = 1'-0"



**W WEST ELEVATION**  
SCALE: 3/8" = 1'-0"



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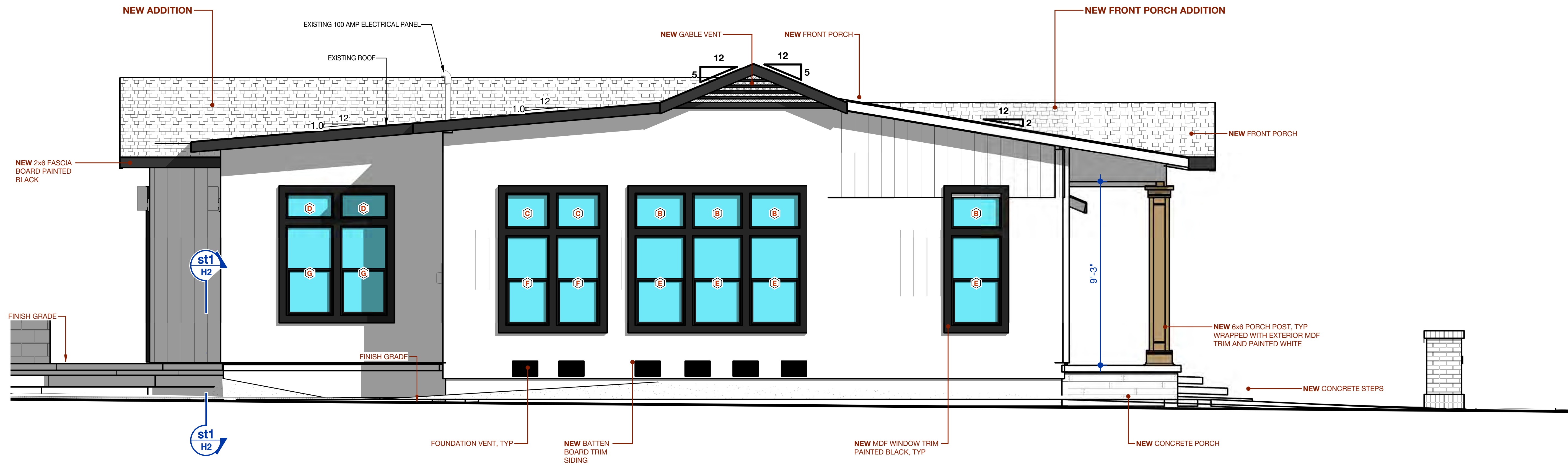
No.	DATE	DESCRIPTION

# BRITTAIN ROOM & PORCH ADDITION ELEVATIONS ( NORTH & SOUTH )

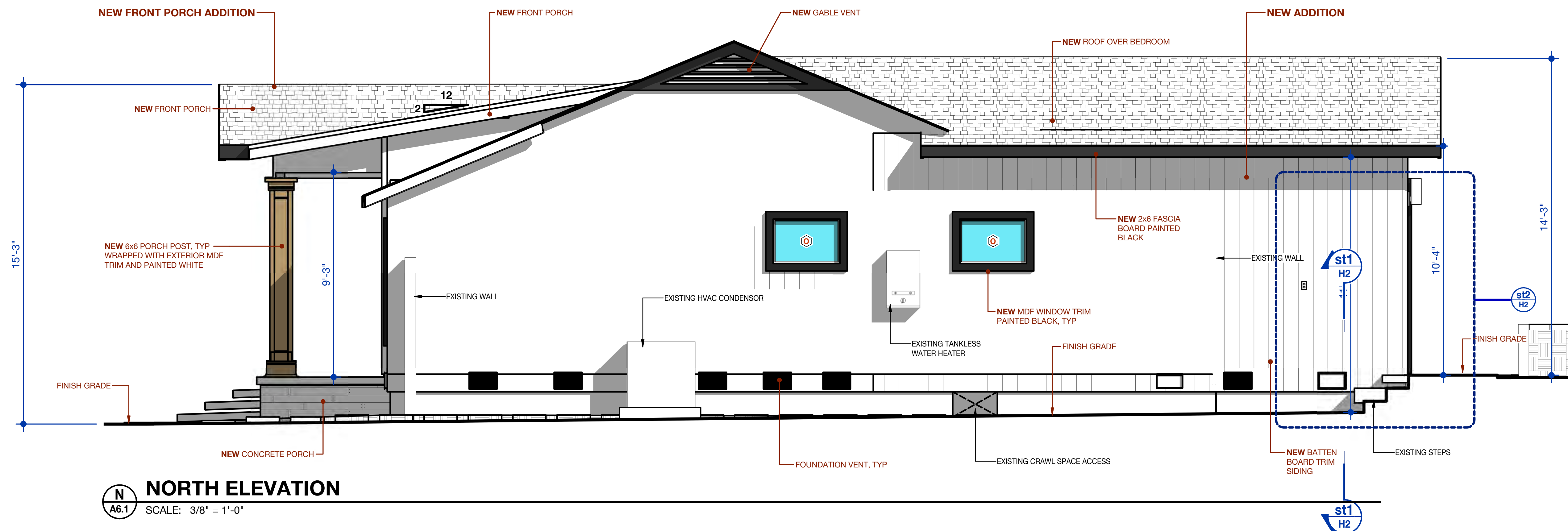
PROJECT NO. 201101  
DATE 4/11/2022

SHEET

A6.1



**SOUTH ELEVATION**  
SCALE: 3/8" = 1'-0"



**NORTH ELEVATION**  
SCALE: 3/8" = 1'-0"



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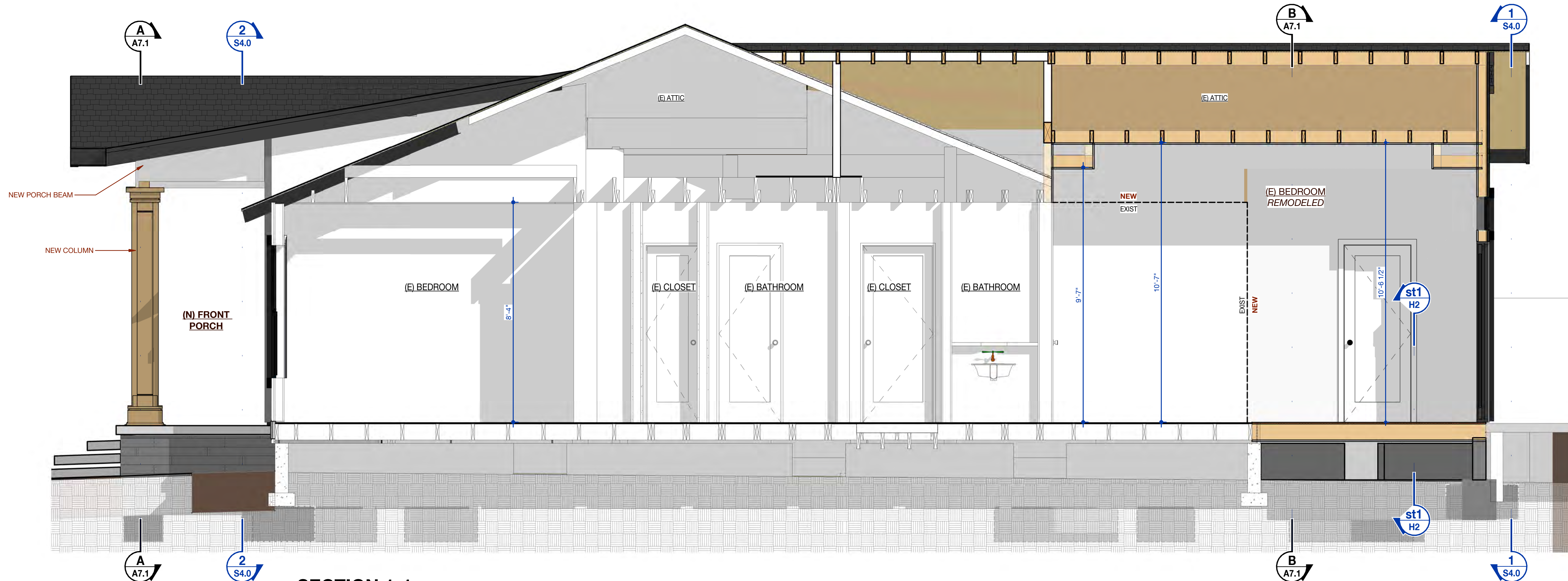
No.	DATE	DESCRIPTION

# BRITTAIN ROOM & PORCH ADDITION CROSS SECTIONS

PROJECT NO. 201101  
DATE 4/11/2022

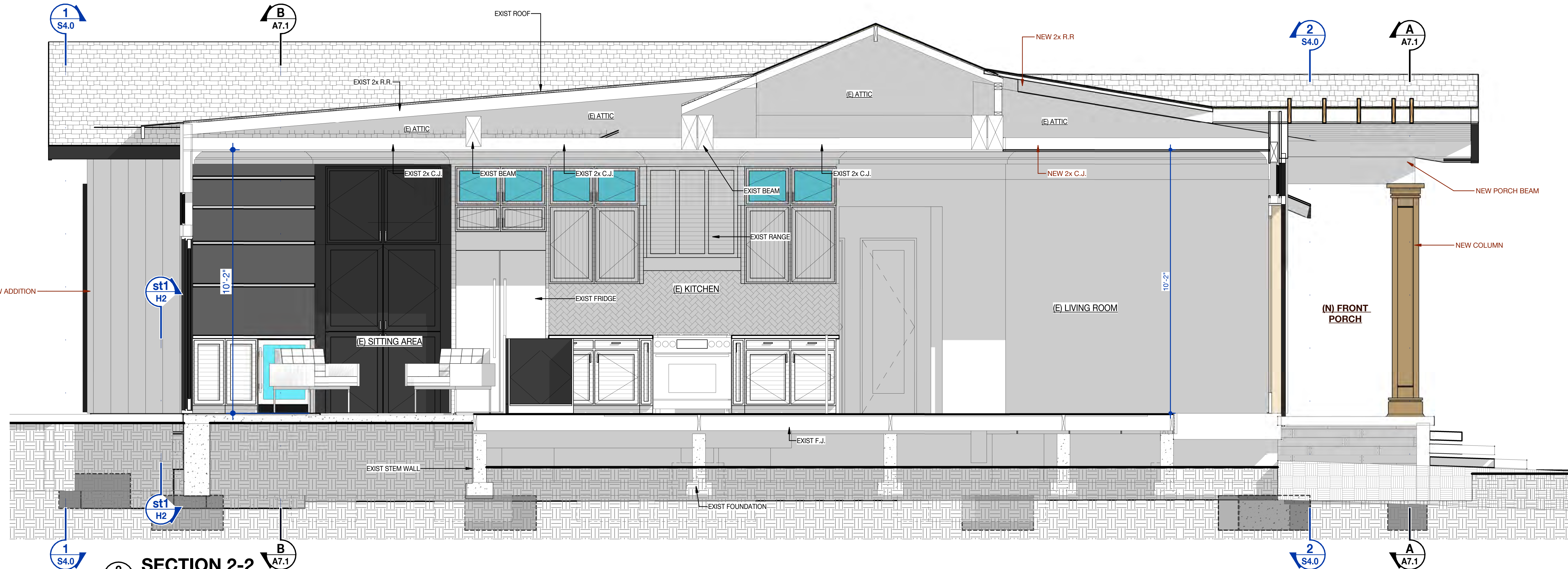
SHEET

A7.0



**SECTION 1-1**

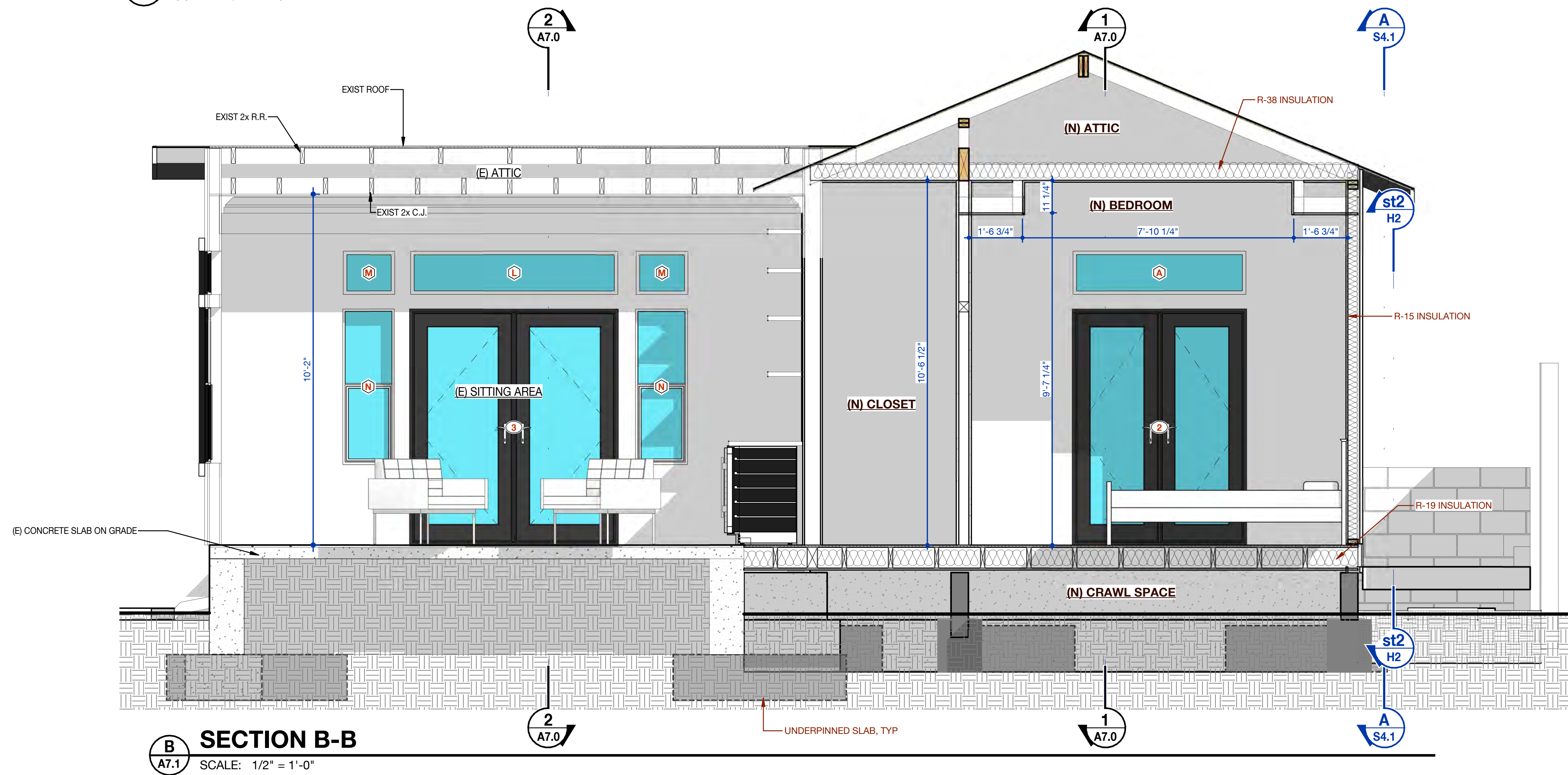
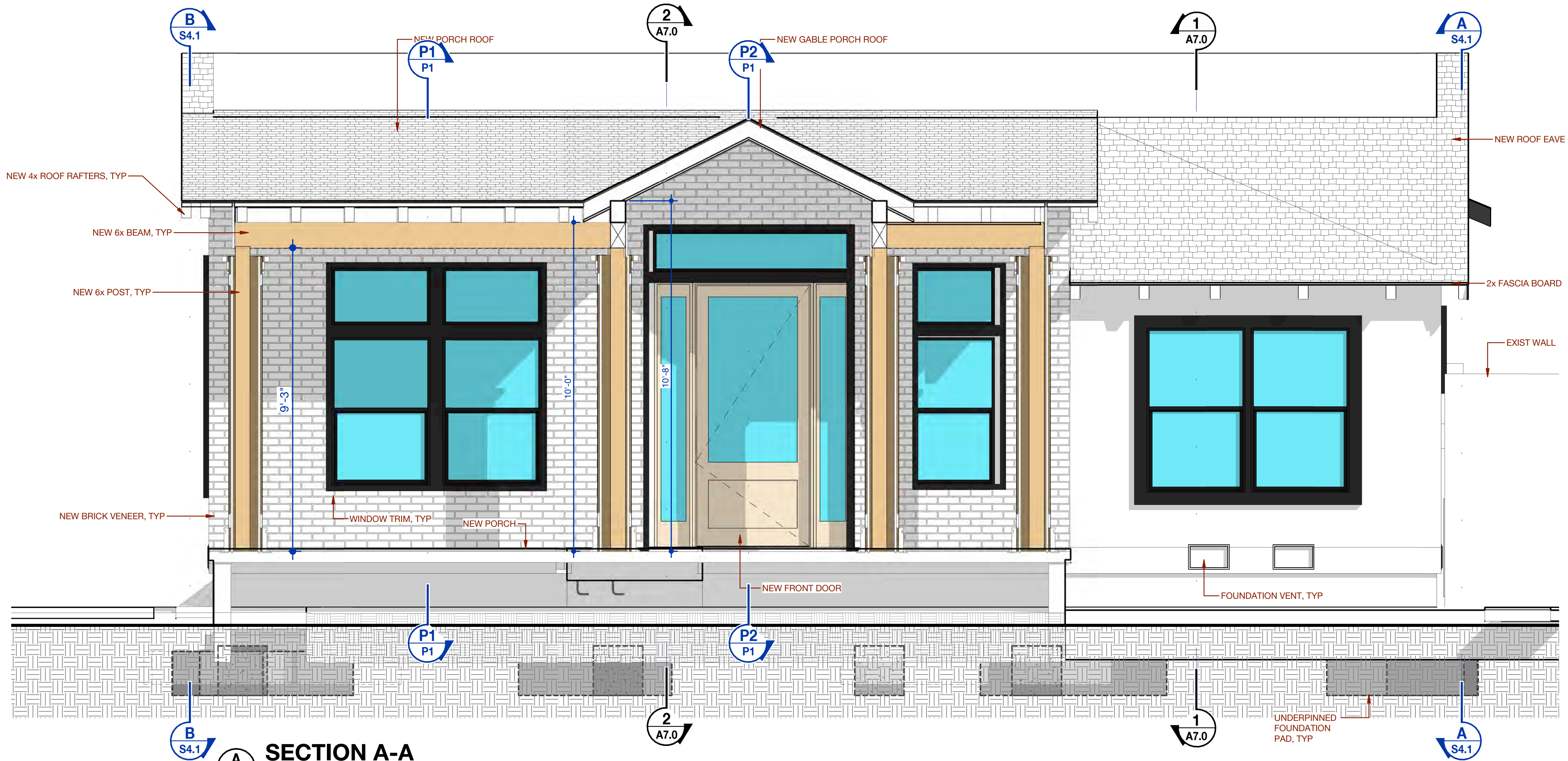
SCALE: 1/2" = 1'-0"



**SECTION 2-2**

SCALE: 1/2" = 1'-0"





MARTIN E. RUVALCABA, P.E.

DATE  
THE CONTRACTOR SHALL VERIFY ALL CONTROLLING FIELD DIMENSIONS, EMBEDMENTS, OPENINGS, AND LOCATIONS OF ALL UTILITIES BEFORE PROCEEDING WITH ANY CONSTRUCTION WORK, OR ORDERING AND/OR FABRICATING ANY MATERIAL.

IN CASE OF CONFLICT OR DISCREPANCIES, THE CONTRACTOR SHALL IMMEDIATELY INFORM THE DESIGN PROFESSIONAL.

ALL CONSTRUCTION SHALL CONFORM TO THE CALIFORNIA BUILDING CODE & LOCAL CITY/COUNTY CODES.

CLIENT

6514 E. BRITTAIN ST  
LONG BEACH, CA 90808

REVISIONS

No.	DATE	DESCRIPTION

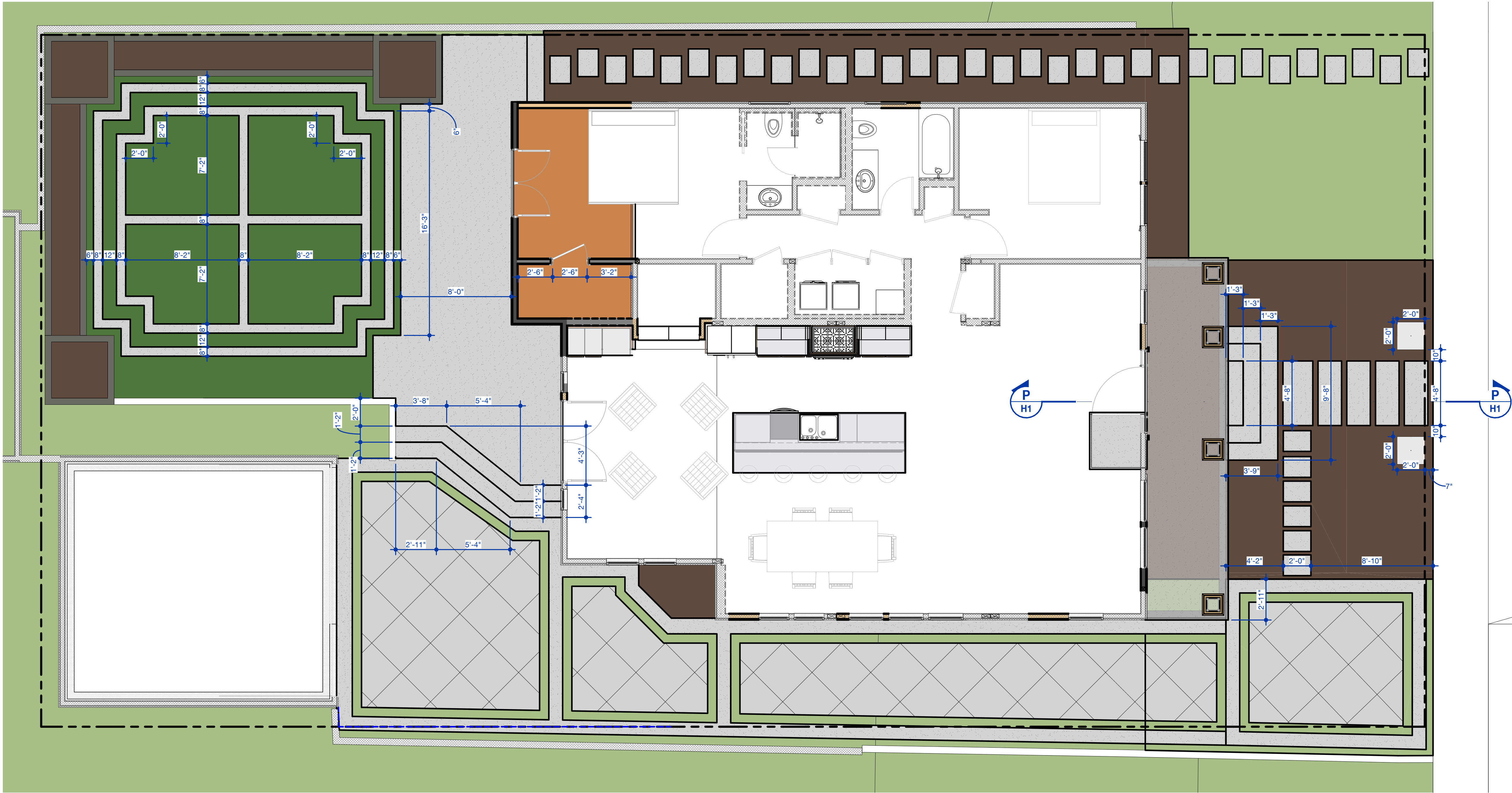
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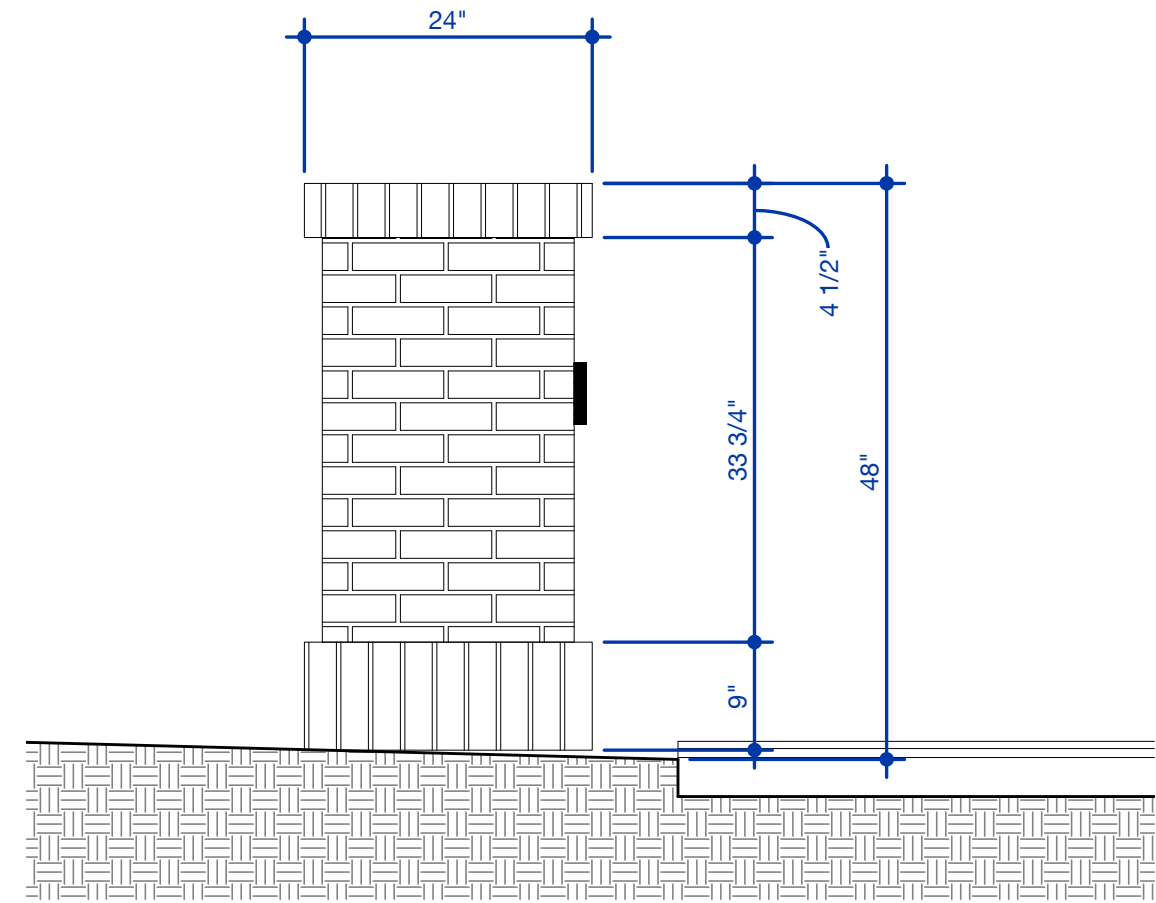
**A7.1**





# HARDSCAPE PLAN

SCALE: 1/4" = 1'-0"



# PORCH SECTION

SCALE: 3/4" = 1'-0"

MARTIN E. RUVALCABA, P.E.

DATE  
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# BRITTAIN ROOM & PORCH ADDITION HARDSCAPE

PROJECT NO. 201101  
DATE 4/11/2022

SHEET

**H1**





LEMON TREE



MEXICAN LIME TREE



HASS AVOCADO TREE



PURPLE HOPSEED BUSH



MEXICAN LIME TREE



CREEPING FIG IN POT



OLIVE TREE



SMALL MEXICAN YELLOW LIMES

MARTIN E. RUVALCABA, P.E.

DATE \_\_\_\_\_

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**BRITTAIN ROOM & PORCH  
ADDITION**

Tree List



